

**The Landing Condominiums - Building 11  
RA Detail Report by Category**

*Stucco Repairs continued...*



<b>Painting - Total Current Cost</b>	<b>\$40,000</b>
<b>Assigned Reserves</b>	<b>\$40,000</b>
<b>Fully Funded Reserves</b>	<b>\$21,143</b>

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**Concrete and Stairway Repairs - 2024**

Asset ID	1008	1 Lump Sum	@ \$5,000.00
		Asset Actual Cost	\$5,000.00
Category	Structural Components	Percent Replacement	100%
Placed in Service	January 2024	Future Cost	\$5,000.00
Useful Life	10	Assigned Reserves	\$5,000.00
Replacement Year	2024		
Remaining Life	0	<i>No Future Assessments</i>	



Concrete and Stairway Repairs for year 2024 shall include repairs to cracked concrete and damage to the handrails referenced within this report.

**Wood Framing Repairs - 2033**

Asset ID	1009	1 Lump Sum	@ \$6,000.00
		Asset Actual Cost	\$6,000.00
Category	Structural Components	Percent Replacement	100%
Placed in Service	January 2023	Future Cost	\$7,828.64
Useful Life	10	Assigned Reserves	\$6,000.00
Replacement Year	2033		
Remaining Life	9	<i>No Future Assessments</i>	

**The Landing Condominiums - Building 11  
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*Wood Framing Repairs continued...*



<b>Structural Components - Total Current Cost</b>	<b>\$11,000</b>
<b>Assigned Reserves</b>	<b>\$11,000</b>
<b>Fully Funded Reserves</b>	<b>\$5,600</b>

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**Elect. Syst. Routine Maint & Insp. - 2024**

Asset ID	1005	1 EA.	@ \$2,500.00
Category	Electrical Systems	Asset Actual Cost	\$2,500.00
Placed in Service	January 2023	Percent Replacement	100%
Useful Life	1	Future Cost	\$2,500.00
Replacement Year	2024	Assigned Reserves	\$2,500.00
Remaining Life	0	<i>No Future Assessments</i>	



<b>Electrical Systems - Total Current Cost</b>	<b>\$2,500</b>
<b>Assigned Reserves</b>	<b>\$2,500</b>
<b>Fully Funded Reserves</b>	<b>\$2,500</b>

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**Fire Protective Syst. Maintenance - 2024**

Asset ID	1003	1 EA.	@ \$2,500.00
		Asset Actual Cost	\$2,500.00
		Percent Replacement	100%
Category	Fire Protective Systems	Future Cost	\$2,500.00
Placed in Service	January 2023	Assigned Reserves	\$2,500.00
Useful Life	1		
Replacement Year	2024	<i>No Future Assessments</i>	
Remaining Life	0		



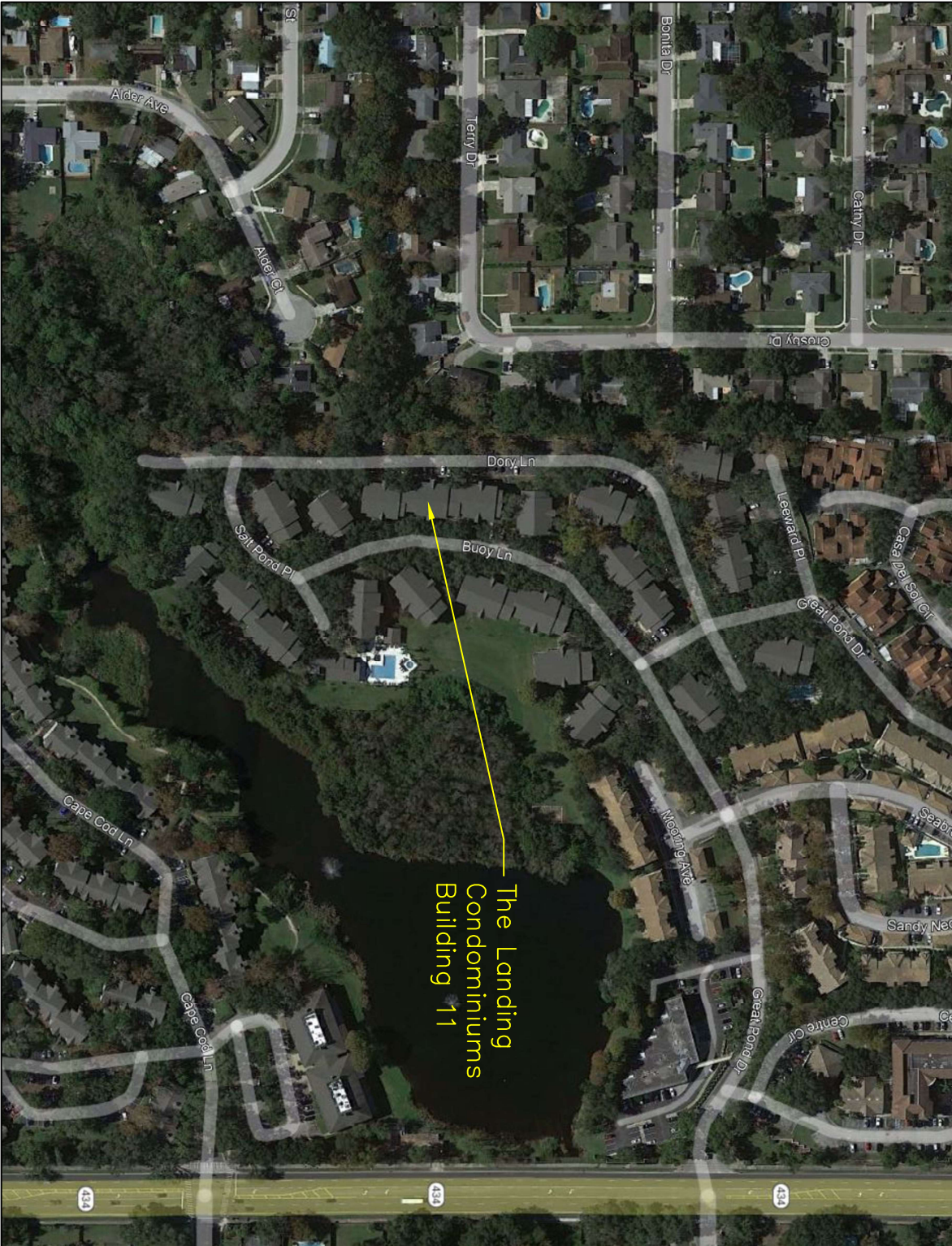
<b>Fire Protective Systems - Total Current Cost</b>	<b>\$2,500</b>
<b>Assigned Reserves</b>	<b>\$2,500</b>
<b>Fully Funded Reserves</b>	<b>\$2,500</b>

**The Landing Condominiums - Building 11**  
**RA Category Detail Index**

Asset ID	Description	Replacement	Page
1001	Asphalt Shingle Roof Replacement	2039	11
1008	Concrete and Stairway Repairs	2024	14
1005	Elect. Syst. Routine Maint & Insp.	2024	16
1006	Exterior Painting	2027	12
1003	Fire Protective Syst. Maintenance	2024	17
1004	Plumbing Syst. Routine Maint. and Insp.	2024	10
1007	Stucco Repairs	2030	12
1009	Wood Framing Repairs	2033	14
	Total Funded Assets	8	
	Total Unfunded Assets	<u>0</u>	
	Total Assets	8	



**APPENDIX B**  
**SITE LOCATION MAP**

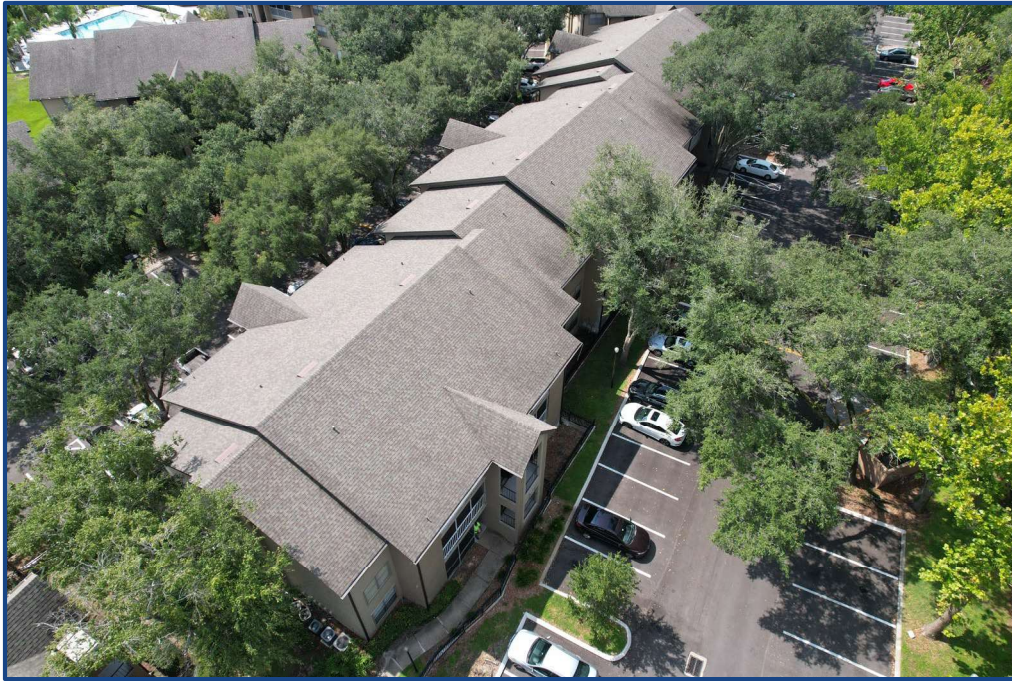


The Landing  
Condominiums  
Building 11

# SITE LOCATION MAP



**APPENDIX C  
PHOTOGRAPHS**



Photograph No. 1: North elevation.



Photograph No. 2: West elevation.

## SITE PHOTOGRAPHS

The Landing Condominiums – Building 11  
623 Dory Lane  
Altamonte Springs, Seminole County, Florida 32714

Photograph Date: Wednesday, July 19, 2023  
UES Project No. 0811.230006.0000  
UES Report No. 1



Photograph No. 3: South elevation.

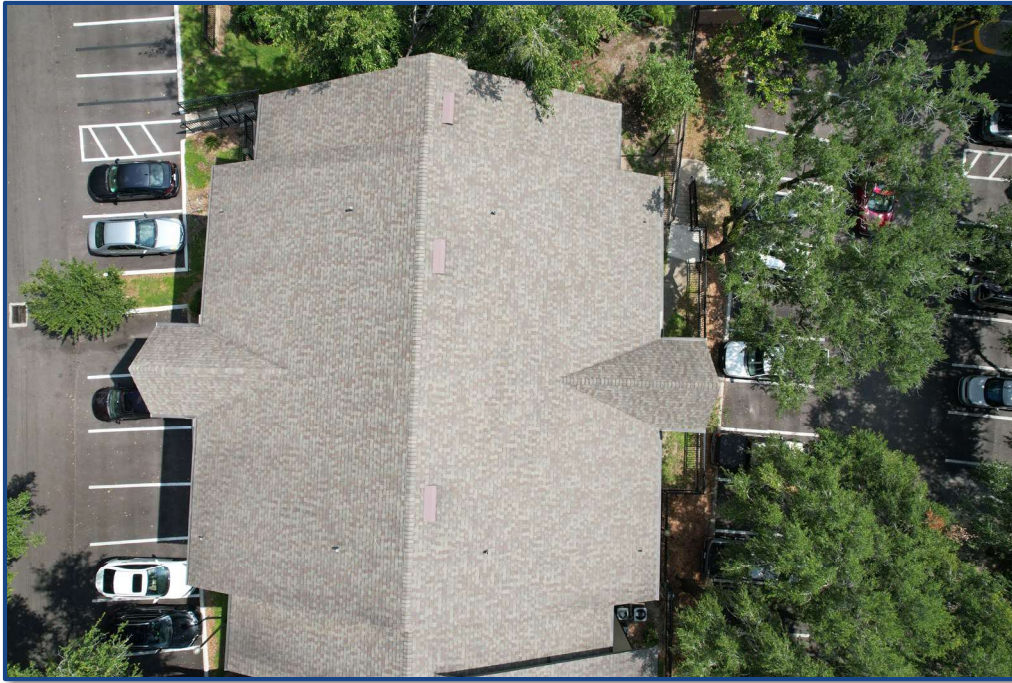


Photograph No. 4: East elevation.

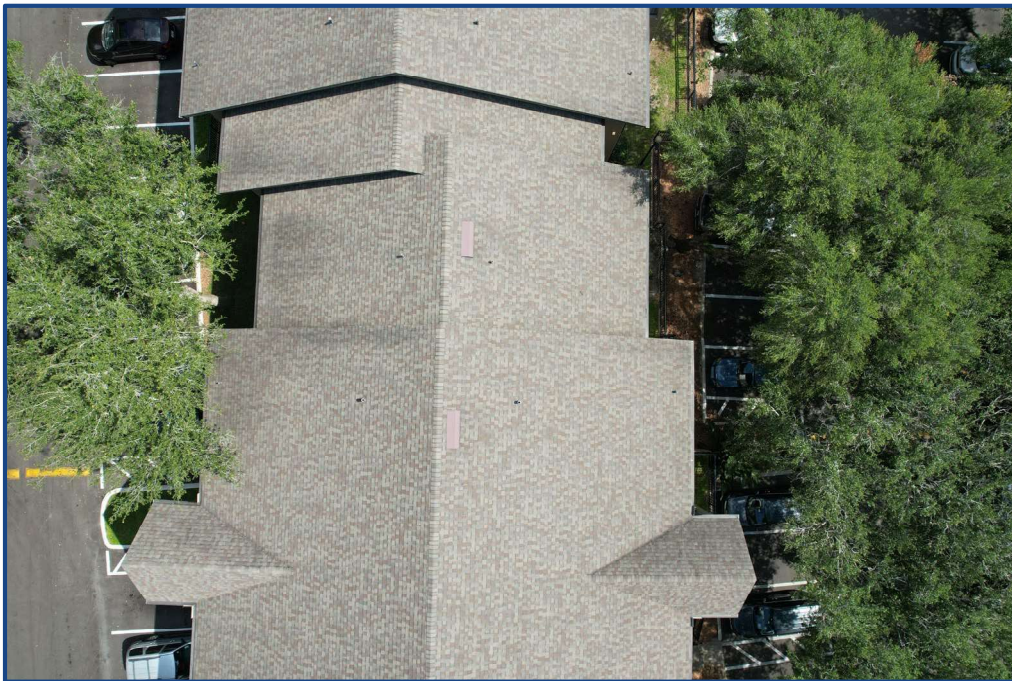
### **SITE PHOTOGRAPHS**

The Landing Condominiums – Building 11  
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Photograph No. 5: View of the north roof section.

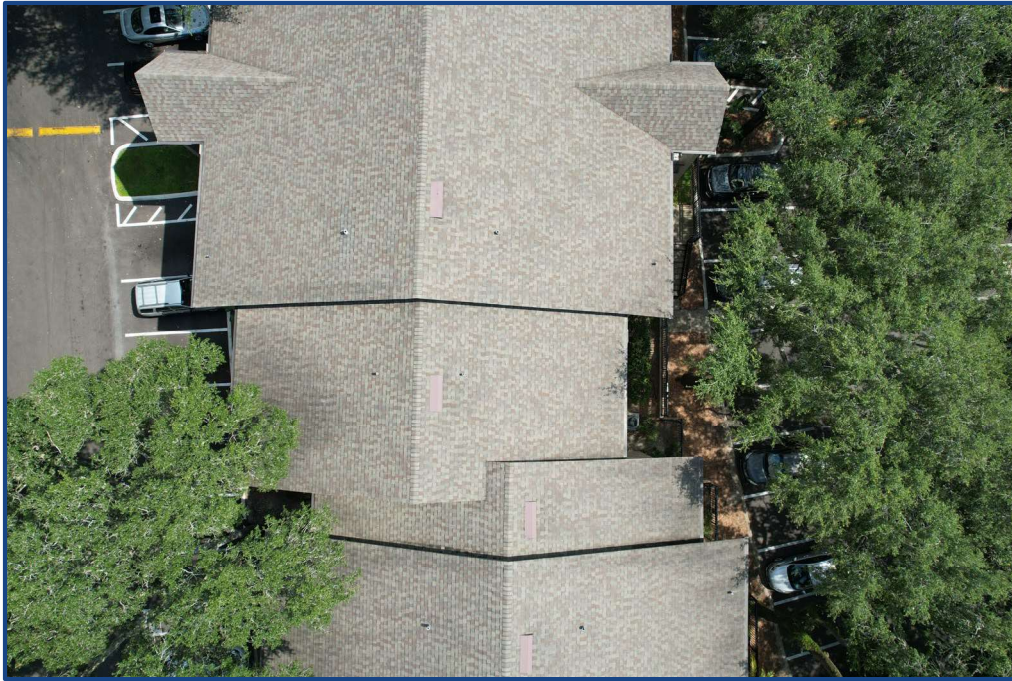


Photograph No. 6: View of the north roof section.

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Photograph No. 7: View of the south roof section.



Photograph No. 8: View of the south roof section.

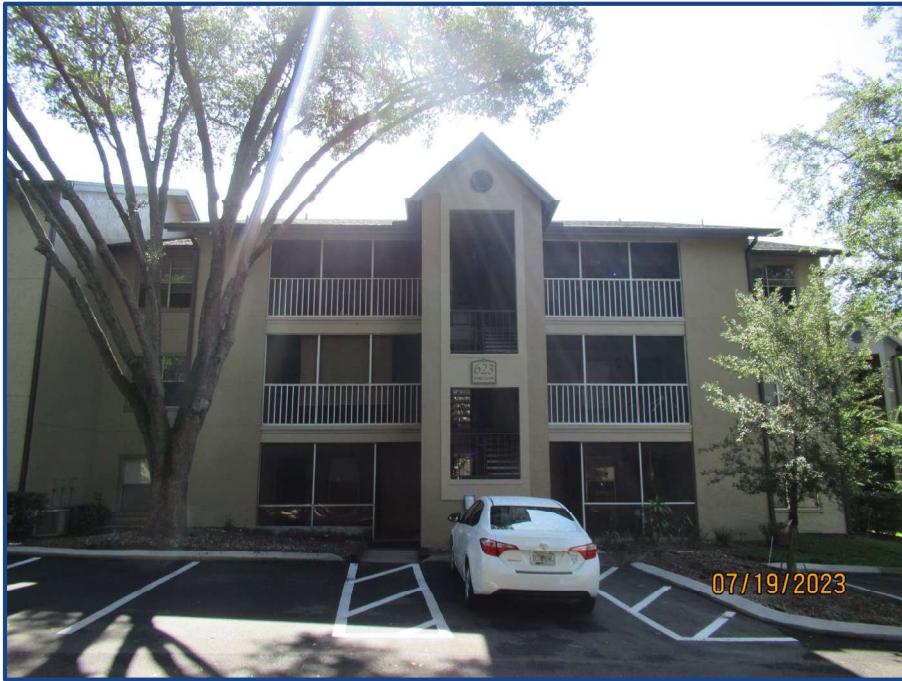
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Photograph No. 9: General view of the prefabricated wooden roof trusses.

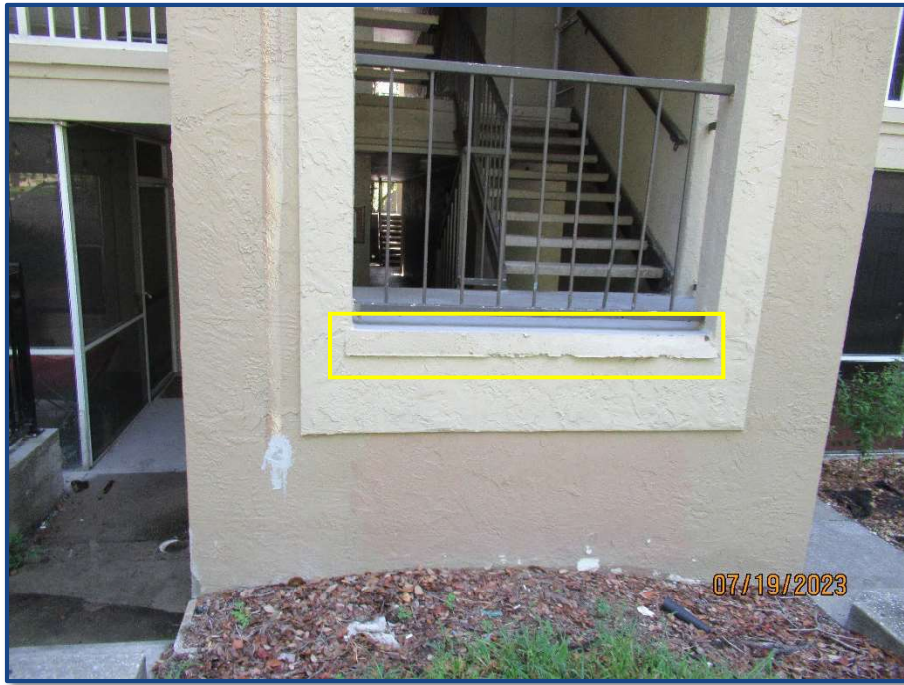


Photograph No. 10: View of the balconies and stairway on the west side of the building.

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The Landing Condominiums – Building 11  
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Photograph No. 11: Peeling paint, corrosion, and separation of the metal flashing at the edge of the southwest stairway landing slab.



Photograph No. 12: Peeling paint and surface corrosion to the metal flashing at the edge of the northeast stairway landing slab.

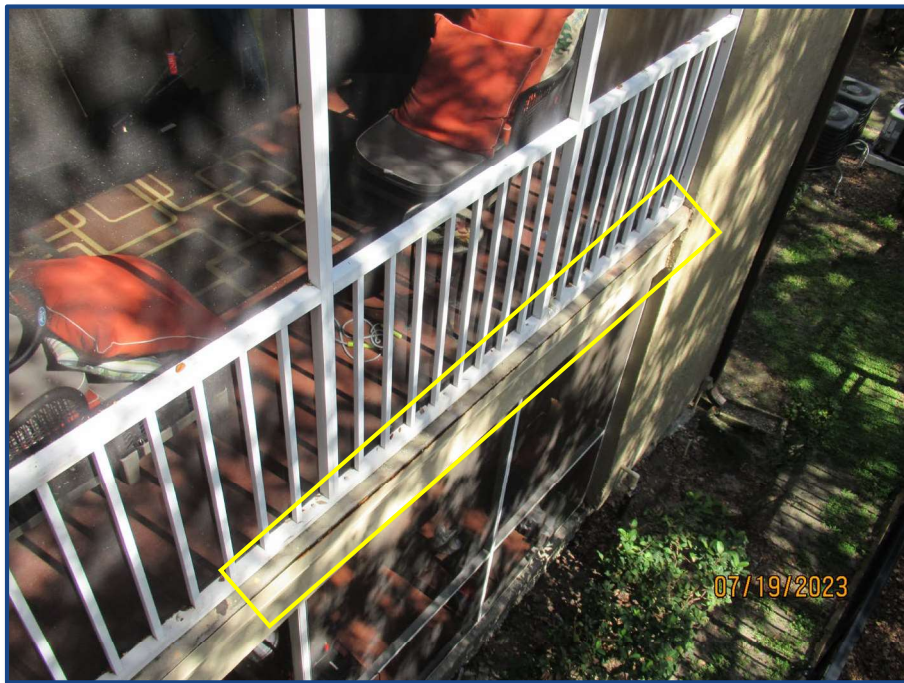
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Photograph No. 13: Corrosion and separation of the metal flashing at the edge of the balcony slab on Unit 204.



Photograph No. 14: Corrosion and separation of the metal flashing at the edge of the balcony slab on Unit 209.

### SITE PHOTOGRAPHS

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Photograph No. 15: Cracks in the exterior wall stucco finish and paint peeling at the exterior of Unit 106.



Photograph No. 16: Cracks in the stucco wall finishes located on the northeast stairway.

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Photograph No. 17: Crack in the stucco wall finish located on the northeast stairway.



Photograph No. 18: Peeling of the paint finish and cracks in the exterior wall stucco patch located on the east side of the building.

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Photograph No. 19: Peeling of the balcony slab paint finish located on Unit 203.



Photograph No. 20: Previously sealed crack in the concrete slab located at the north part of the building on the 2nd floor.

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Photograph No. 21: Previously sealed crack in the concrete slab located at the north part of the building on the 3rd floor.



Photograph No. 22: Crack in the concrete slab located on the balcony of Unit 309.

### SITE PHOTOGRAPHS

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Photograph No. 23: Previously sealed crack in a concrete step located in the northeast stairway.



Photograph No. 24: A loose bolt located in the handrail connection in the northeast stairway.

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Photograph No. 25: Electrical meters.



Photograph No. 26: Fire riser system and fire alarm.

### SITE PHOTOGRAPHS

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**APPENDIX D**  
**QUALIFICATIONS OF KEY PERSONNEL**

## SUMMARY OF QUALIFICATIONS

Mr. Santiago is the Director of UES Milestone Inspection Program and Vice President of UES Construction Services Division. He has experience in building inspections, structural evaluations, geotechnical investigations, and construction process evaluations. He has over 25 years of construction, design and inspection experience dealing with all phases of project development including permitting, geotechnical, environmental, civil, and architectural design. He also has experience in pavement, foundation design, forensic analysis of construction defects, roofing consultation, construction project management and quality control/quality assurance. Mr. Santiago is a licensed Threshold Inspector in the State of Florida where he performs structural inspections for various types of projects including shoring/reshoring and design/plan compliance.

**YEARS WITH THE FIRM 3.5**

**YEARS WITH OTHER FIRMS 25**

## EDUCATION

B.S., CIVIL ENGINEERING, UNIVERSITY OF CENTRAL FLORIDA, 1998

## LICENSES & CERTIFICATIONS

- FLORIDA PROFESSIONAL ENGINEER, SPECIAL INSPECTOR #74520
- ACI AGGREGATE & FIELD-TESTING TECHNICIAN
- ACI CONCRETE
- ACI CONCRETE FIELD INSPECTOR
- FDOT LBR TECHNICIAN
- FDOT SOILS TECHNICIAN
- MASONRY SPECIAL INSPECTOR
- POST TENSION LEVEL I & II INSPECTOR
- RADIATION SAFETY OFFICER
- STRUCTURAL STEEL LEVEL I INSPECTOR

## REPRESENTATIVE PROJECT EXPERIENCE

### Commercial

**Citadel I and Citadel II, Tampa, FL:** Facility Evaluator. Performed a property condition and roofing assessment for two eight-story office buildings with a shared six-story parking garage. Cost projections were completed over a year term. Project was completed within 10 days of authorization.

**San Juan Integra Building, PR:** Commercial 7 story retrofit, interior rebuild and structural modifications to the structure and parking / garage area. Provided geotechnical assistance during design and construction as well as quality control during construction operations.

**Trinity Corporate Park, Tampa, FL:** 3 story settling structure, prepared evaluation report and recommended adequate foundation system.

### Government

**Fort Bragg Landfill Density Testing, Fort Bragg, NC, 2009:** Mr. Santiago was project principal for subsurface exploration of the SCS Energy Facility Expansion.

**Fort Bragg TEMF, Fort Bragg, NC:** Prepared proposal, assisted in planning and coordinating field exploration, and analyzed subsurface conditions. Provided a geotechnical report of findings, evaluations and recommendations for foundation, parking area design and construction considerations. This project was design and build of tactical vehicle maintenance facilities and retaining wall design.

**NCDOT, DMV Facility Fayetteville, NC:** Assisted in planning and coordinating field exploration, and analyzed subsurface conditions. Provided a geotechnical report of findings, evaluations and recommendations for foundation, parking design and construction considerations.

**Sypris Electronics, Tampa, FL, 2015: Facility Evaluator.** Performed a property condition and roofing assessment for a 300,000 sq. ft. facility. Cost projections were completed over a 10 year term. This project was an existing electronics manufacturing facility for the Department of Defense, due to homeland security; this report was



completed with no photo documentation under strict guidelines of disclosure. Project was completed within 10 days of authorization.

### **Healthcare**

**Hima San Pablo Hospitals, Caguas and Bayamon, PR, 2015:** Facility Evaluator. Performed a property condition and roofing assessment for 2 1.3M sq. ft. facilities. Completed both assessments and submitted final reports within 30 days of authorization.

**Sinai Assisted Living Facility, Boca Raton, FL:** Mr. Santiago was the project principal for Private Provider Inspections for the construction of the four-story independent living building and the three-story skilled nursing and assisted living facility building.

**Baptist South Tower, Jacksonville, FL:** Mr. Santiago was the project principal and Threshold Inspector during the construction of an 8-story medical tower. He provided construction quality control and quality assurance.

### **Institutional**

**Nocatee K-8 School KK, St. Johns County, FL:** Threshold Engineer. Provided Geotechnical Engineering, Construction Materials Testing, Threshold Inspection, and Settlement Monitoring services. The construction included a new 1 to 3-story school building of concrete and steel construction as well as associated paved parking and drive areas, a new stormwater management pond, and athletic fields. Site-elevating fills on the order of four to five feet were required to achieve final grade. Also included unsuitable soil removal and roofing testing and inspection.

**Aberdeen K-8 School LL, St. Johns County, FL:** Threshold Engineer Provided Geotechnical Engineering, Construction Materials Testing, Threshold Inspection, and Settlement Monitoring services. The construction included a new 1 to 3-story school building of concrete and steel construction as well as associated paved parking and drive areas, a new stormwater management pond, and athletic fields. Site-elevating fills on the order of four to five feet were required to achieve final grade. Also included roofing testing and inspection.

**North Star Villages Student Complex, Tampa, FL:** Performed subsurface exploration and conducted geotechnical engineering analyses for the proposed student housing project – North Star Villages at 1400 North 46th Street in Tampa, FL. ECS will perform construction materials testing and threshold observation services during construction, 2nd quarter of 2015.

### **Multifamily Residential**

**Bayshore Multifamily Complex, Tampa, FL, 2013:** The Bayshore multifamily complex consisted of a 3 building, 8-story, 220-unit apartment complex with associated parking, amenity and drive areas. Provided geotechnical consultation and exploration services as well as construction materials testing and threshold observation services during construction.

**Encore, REED Multifamily Complex, Tampa, FL, 2014:** Prepared the proposal and performed construction quality control services for the REED at Encore which consisted of a senior living multifamily complex for the Tampa Housing Authority. Provided construction materials testing and threshold observation services during construction.

**Yabucoa Real, Yabucoa, PR:** Residential development, Owner's representative/Inspector during design, permitting and construction of an 86-unit residential development. Provided geotechnical design and value engineering during construction.

### **Industrial**

**Renewable Resources Plant, West Palm Beach, Florida:** Mr. Santiago was one of the project principals involved during the construction of the deep foundation system implemented during the construction process of this 80-acre renewable resources power facility.

**Niagara Bottling Plant:** Mr. Santiago was the project principal and Threshold Inspector during the construction of a 350,000 square foot, bottling plant. He provided construction quality control and quality assurance.

**Pipeline Supply Company Facility, Fayetteville, NC:** Prepared proposal, assisted in planning and coordinating field exploration, and analyzed subsurface conditions. Provided a geotechnical report of findings, evaluations and recommendations for foundation, parking design and construction considerations.

### **Transportation**

**Orlando International Airport (OIA), FL:** Provided geotechnical engineering and construction materials testing for several runway and apron rehabilitation projects within the airport. Projects consisted of new runway construction and existing apron and runway rehabilitations.



## Education

BS, Civil Engineering  
(Emphasis in Structural  
Engineering) - University of  
South Florida

## Years of Experience

4

## Licenses

- Professional Engineer, FL  
#95850

## Ricardo Solis, PE

### Structural Engineer

Mr. Solis has over 4 years of combined experience in the construction and forensics industries as a structural engineer. His construction experience is built on the design and management of low-rise commercial/industrial buildings, residential homes, and threshold building inspections. His experience covers a wide range of project development including maintenance of client relationships, construction documents, and construction administration. This experience includes developing framing concepts and selecting framing systems, which include reinforced concrete, tilt-up construction, structural steel, light gauge steel, load-bearing masonry, and timber. Mr. Solis' forensics experience includes investigations of residential sites to determine the cause and origin of structural failures, damage or defects, and analyzing damage to structures caused by catastrophic events such as hurricanes and sinkholes. Additionally, Mr. Solis has experience in Enercalc, MathCAD, RISA, and AutoCAD.

## PROJECT EXPERIENCE

### Infinity Business Park

Orlando, Florida

Mr. Solis was responsible for the structural design, detailing, coordination, and quality control of multiple tilt wall buildings in the business park. He managed projects to completion from pre-design, meetings, and through construction shop drawing review.

### Gratigny Logistics Center Buildings

Miami, Florida

Mr. Solis was responsible for the structural design, detailing, coordination, and quality control of two 220,000-SF tilt wall buildings in Miami. He managed projects to completion from pre-design, meetings, and through construction shop drawing review.

### Marion Street Office Building

Tampa, Florida

Mr. Solis was responsible for the structural design, detailing, coordination, and quality control of this four-story masonry building on shallow concrete foundations and composite floor/roof framing system. He managed the project to completion from pre-design, meetings, and through construction shop drawing review.

### Wish Farms

Plant City, Florida

Mr. Solis was responsible for the structural foundation design, detailing, coordination, and quality control of this 118,000-SF pre-engineered metal building. He managed the project to completion from pre-design, meetings, and through construction shop drawing review.

### Amazon Warehouse

Seffner, Florida

Mr. Solis was responsible for the structural design, detailing, coordination, and quality control of the light gauge stud framing canopies and front entry. He managed the project to completion from pre-design, meetings, and through construction shop drawing review.

### Winthrop Town Center Buildings

Riverview, Florida

Mr. Solis was responsible for the structural design, detailing, coordination, and quality control of this two-story masonry building on shallow concrete foundations and composite floor/roof framing system. He managed projects to completion from pre-design, meetings, and through construction shop drawing review.